



ABERDEEN CITY COUNCIL

August 26, 2015

COUNCIL MEETING AGENDA

7:15 p.m. Third Floor, City Hall

COMMITTEE OF THE WHOLE

- A. Guest Speakers
- B. Additions to Agenda
- C. Department Heads
- D. Mayor's Report
- E. Non-Standing Committee Reports

COUNCIL MEETING

- I. ROLL CALL
- II. FLAG SALUTE
- III. APPROVAL OF MINUTES
- IV. PUBLIC COMMENT Re: Agenda Items (Please limit your comments to 3 minutes)
- V. FINANCE COMMITTEE
 - A. Committee Chair Report
 - B. Approval of Expenditures
 - 1. Recommend approval of expenditures and payroll.
 - C. Reports & Communications
 - 1. Report from Finance and Community Development Director setting a public hearing to identify the 6 grant programs offered through the Community Development Block Grant Program.
 - D. Public Hearings
 - 1. This is the date set for public hearing to review community development and housing needs, inform citizens of the availability of funds and eligible uses of the state Community Development Block Grant and receive comments on proposed activities.
 - E. Reports & Communications
 - F. Ordinances
 - 1. Third reading of Bill No. 15-01 requiring business licenses for residential rental housing, amending Chapter 5.10 and § 5.07.220 of the AMC.
- VI. PUBLIC WORKS
 - A. Committee Chair Report
 - B. Reports & Communications
 - 1. Report from Public Works and Public Works Director recommending that the Mayor be authorized to appoint the reported individuals to serve on the Aberdeen Stream Team.
 - 2. Report from Public Works and Community Development Director recommending that the City Council authorize the Mayor to sign all documents pertaining to the CDBG and submit to the Department of Commerce on behalf of Craft 3.

C. Resolutions

1. Resolution authorizing the submission of a Community Development Block Grant Economic Opportunity application to the Washington State Department of Commerce requesting \$3,000,000 for renovation of the Morck Hotel and certifying compliance with application requirements.

VII. PUBLIC SAFETY

A. Committee Chair Report

B. Public hearings

1. This is the date set for public hearing on the moratorium prohibiting the licensing, location, and permitting of facilities for the wholesale storage and sales of liquid, solid, or gasified petroleum in the City of Aberdeen, State of Washington.

C. Reports & Communications

1. Report from Public Safety and Chief of Police recommending that the Narcotics Task Force Grant funding is accepted and the Mayor and staff be authorized to sign the grant.

D. Ordinances

VIII. SPECIAL AGENDA ITEMS

IX. CITY COUNCIL COMMENT PERIOD

X. PUBLIC COMMENT PERIOD (Please limit your comments to 3 minutes)

XI. EXECUTIVE SESSION

The City of Aberdeen does not discriminate against or exclude anyone from participation in public meetings. Requests for assistance should be made by contacting the Finance Department at 360-537-3236, 48 hours in advance of the meeting. Thank you.

CITY OF ABERDEEN LEGISLATIVE DEPARTMENT

MAYOR: Hon. Bill Simpson

THE MEMBERS OF
YOUR COMMITTEE ON: Finance

TO WHOM WAS REFERRED: Community Development Director

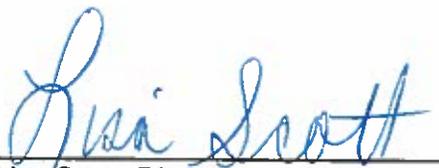
RE: The Washington State CDBG Program

REPORT AND RECOMMEND AS FOLLOWS:

The Department of Commerce's Community Development Block Grant (CDBG) Economic Opportunity Grants are made available annually through a competitive application process to assist Washington State small cities, towns and counties in carrying out economic development and energy efficiency project that promote vibrant rural communities.

The purpose of the state CDBG Programs is to improve and maintain the economic and physical environment of eligible, non-entitlement cities and counties in order to enhance the quality of life for low-and-moderate income residents and, as a result, benefit the entire community.

This is the date set for the public hearing to identify the 6 grant programs offered through the Community Development Block Grant Program. Information sheets are available on the back table.



Lisa Scott, Director
Community Development

Finance Chair

Vice Chair

Reported: August 26, 2015

Committee member

Adopted: August 26, 2015

Committee member



PUBLIC HEARING NOTICE

NOTICE IS HEREBY GIVEN that a public hearing will be held by the Aberdeen City Council on the third floor of Aberdeen City Hall in the Council Chambers, 200 East Market Street, Aberdeen, Washington, 98520 on Wednesday, August 26, 2015 at approximately 7:15.

The purpose of the public hearing is to review community development and housing needs, inform citizens of the availability of funds and eligible uses of the state Community Development Block Grant (CDBG) and receive comments on proposed activities, particularly from lower income persons residing in Aberdeen city limits).

Up to \$3 million may be available to the City of Aberdeen on a statewide competitive basis to fund public facility, community facility, economic development, planning and affordable housing projects that principally benefit low and moderate-income persons.

An outline of the proposed project (Morck Hotel Redevelopment) will be available for review at the City of Aberdeen on the 2nd floor of City Hall in the Community Development Department. The project summary will be available for review and comments on August 18, 2015. Comments may also be submitted in writing to the Community Development Department at the City of Aberdeen, 200 East Market Street, Aberdeen, Washington 98520. All comments regarding this proposal must be received by 5:00 p.m. on Wednesday, August 26, 2015.

The City Council Chambers is handicap accessible. Arrangement to reasonably accommodate special needs, including handicap accessibility or interpreter, will be made upon receiving 24-hours advance notice. Please contact Lisa Scott at (360) 537-3238 for assistance.



Community Development Block Grant Program (CDBG)

Helping rural communities with projects that benefit low- and moderate-income persons



The Washington State CDBG Program offers six grant funds:

General Purpose Grants \$8,000,000
For public infrastructure, community facilities, affordable housing, or economic development

Economic Opportunity Grants \$9,000,000
For state and local priority economic development and energy efficiency projects that promote vibrant rural communities

Planning-Only Grants \$240,000
For planning activities that improve community services, public safety or further strategic planning

Housing Enhancement Grants \$200,000
For off-site infrastructure or the community facility component of a state housing trust fund project

Imminent Threat Grants \$100,000
For unanticipated emergencies posing a serious immediate threat to public health and safety

Public Services Grants \$1,500,000
For county and community action agencies to fund new or expanded services to lower income persons

2015 funding levels are contingent upon federal allocation





HUD National Objectives

CDBG project activities must meet one of three HUD National Objectives:

- Principally benefits low-and moderate-income persons
- Aids in the prevention or elimination of slums or blight
- Addresses imminent threat to public health or safety

CDBG Eligibility Guidelines

Eligible applicants are Washington State cities/towns with less than 50,000 in population and not participating in a CDBG entitlement urban county consortium; and counties with less than 200,000 in population. Eligible cities/towns and counties are listed on the CDBG website.

Special purpose districts, public housing authorities, community action agencies, economic development councils, other non-profit organizations, and Indian tribes are not eligible to apply directly to the state CDBG Program for funding, but may be a partner in projects and subrecipient of funding with an eligible city/town or county applicant.

Applicants may submit one request per fund each program year.

Exception: An eligible city/town or county may apply for a second General Purpose Grant if one application is for a local microenterprise assistance program.

Application materials and due dates are on the CDBG website.

Federal Citizen Participation Requirements for Local Government Applicants to the State CDBG Program

Federal Regulations 24 CFR 570.486 (a)

- (a) *Citizen participation requirements of a unit of general local government.* Each unit of general local government shall meet the following requirements as required by the state at Sec. 91.115(e) of this title.
- (1) Provide for and encourage citizen participation, particularly by low and moderate income persons who reside in slum or blighted areas and areas in which CDBG funds are proposed to be used;
 - (2) Ensure that citizens will be given reasonable and timely access to local meetings, information, and records relating to the unit of local government's proposed and actual use of CDBG funds;
 - (3) Furnish citizens information, including but not limited to:
 - (i) The amount of CDBG funds expected to be made available for the current fiscal year (including the grant and anticipated program income);
 - (ii) The range of activities that may be undertaken with the CDBG funds;
 - (iii) The estimated amount of the CDBG funds proposed to be used for activities that will meet the national objective of benefit to low and moderate income persons; and
 - (iv) The proposed CDBG activities likely to result in displacement and the unit of general local government's anti-displacement and relocation plans required under Sec. 570.488.
 - (4) Provide technical assistance to groups representative of persons of low and moderate income that request assistance in developing proposals in accordance with the procedures developed by the state. Such assistance need not include providing funds to such groups;
 - (5) Provide for a minimum of two public hearings, each at a different stage of the program, for the purpose of obtaining citizens' views and responding to proposals and questions. Together the hearings must cover community development and housing needs, development of proposed activities and a review of program performance. The public hearings to cover community development and housing needs must be held before submission of an application to the state. There must be reasonable notice of the hearings and they must be held at times and locations convenient to potential or actual beneficiaries, with accommodations for the handicapped. Public hearings shall be conducted in a manner to meet the needs of non-English speaking residents where a significant number of non-English speaking residents can reasonably be expected to participate;
 - (6) Provide citizens with reasonable advance notice of, and opportunity to comment on, proposed activities in an application to the state and, for grants already made, activities which are proposed to be added, deleted or substantially changed from the unit of general local government's application to the state. *Substantially changed* means changes made in terms of purpose, scope, location or beneficiaries as defined by criteria established by the state.
 - (7) Provide citizens the address, phone number, and times for submitting complaints and grievances, and provide timely written answers to written complaints and grievances, within 15 working days where practicable.



Programa de Becas Consolidadas para el Desarrollo Comunitario (CDBG)

Ayudando las comunidades rurales con proyectos que benefician personas de ingreso bajo o moderado.



El Programa CDBG del Estado de Washington ofrece seis becas:

Becas de Propósito General	\$8,500,000
Para infraestructura pública, facilidades comunitarias, viviendas económicas o proyectos de desarrollo económico	
Becas de Oportunidades Económicas	\$9,000,000
Para el desarrollo económico de prioridad estatal y local y proyectos de eficiencia de energía que promueva comunidades rurales vibrantes	
Becas de Planificación Solamente	\$350,000
Para planificar actividades relacionadas a proyectos que traten con asuntos críticos de salud pública o austeridad	
Becas de Mejoramiento de Viviendas	\$200,000
Para infraestructura externa o facilidad de comunidad como un componente del fondo de vivienda del estado	
Becas de Amenazas Inminentes	\$100,000
Para emergencias no anticipadas que sean una seria amenaza inmediata a la salud y seguridad al público	
Becas de Servicio Público	\$1,500,000
Para agencias de condados y la comunidad que suplan fondos de servicios (directos) nuevos o expandir los que tienen para personas de bajos ingresos	

Los niveles de financiamiento de los fondos para el 2015 están sujetos a la disponibilidad de los fondos federales

Información

Rápida

- El Depto. de Comercio recibe una asignación anual para el CDBG de \$11 millones del Depto. de Viviendas y Desarrollo Urbano de los E.U. (HUD)
- Las becas máximas son generalmente de \$1 millón por construcción, \$500,000 para la rehabilitación de vivienda y \$35,000 para planificación
- Desde el 1982 el programa de CDBG ha distribuido \$456 millones a través de los E.U. Departamento de Viviendas y Desarrollo Urbano (HUD)

Información de Contacto:

Name: Kaaren Roe
Phone: (360) 725-3018
Fax: (360) 586-8440
Email: kaaren.roe@commerce.wa.gov
Web: www.commerce.wa.gov/cdbg



HUD Objetivos Nacionales

Los proyectos del CDBG deben cumplir con los tres Objetivos Nacionales del HUD:

- Principalmente debe beneficiar personas de ingreso bajo o moderado
- Ayuda a la prevención o eliminación de la pobreza o contaminación
- Trata las amenazas inminentes a la salud y seguridad del público

Directivas de Elegibilidad de la CDBG

Los solicitantes elegibles son ciudades/pueblos del Estado de Washington con una población de menos de 50,000 y que están participando en el derecho al consorcio del condado urbano de la CDBG; y condados con una población de menos de 200,000 habitantes. Las ciudades/pueblos elegibles y condados están enlistados en la página de la web de la CDBG.

Distritos con propósito especial, autoridades públicas de vivienda, agencias de acción comunitaria, concilios de desarrollo económico, otras organizaciones con fines no pecuniarios y tribus de indios no son elegibles para solicitar directamente al programa del CDBG del estado para obtener fondos pero pueden ser patrocinadores en proyectos y ser sub-recipientes con una ciudad/pueblo o condado que lo solicite.

Los solicitantes pueden someter una solicitud por fondo cada programa anual.

Excepción: una ciudad/pueblo o condado puede solicitar por una segunda beca de Propósito General si una solicitud es para un programa de asistencia a empresas pequeñas locales.



Department of Commerce
Innovation is in our nature.

www.commerce.wa.gov

Requisitos de Participación Ciudadana Federal Para Solicitantes del Gobierno Local al Programa de CDBG

Regulación Federal 24 CFR 570.486(a)

- (a) *Requisitos de participación ciudadana de una unidad general del gobierno local.* Cada unidad general del gobierno local, debe cumplir los siguientes requisitos como es solicitado por el estado, en el Sec. 91.115(e) de este artículo.
- (1) Contribuir y motivar a la participación ciudadana, particularmente en personas de recursos bajos y moderados quienes residen en condiciones precarias o áreas insalubres y áreas donde el Programa de CDBG tiene como objetivo apoyar con financiamiento;
 - (2) Asegurar que los ciudadanos tengan acceso oportuno y suficiente a reuniones locales, información y estadísticas relacionadas a la unidad de gobierno local que ha sido propuesta o que utiliza los fondos de financiamiento del programa de CDBG;
 - (3) Proveer información a los ciudadanos, incluyendo:
 - i. La cantidad de financiamientos del de CDBG que se espera sea otorgada en el año fiscal en curso (incluyendo las subvenciones y los ingresos anticipados del programa);
 - ii. El tipo de actividades probables a llevarse a cabo con el financiamiento del de CDBG;
 - iii. La cantidad estimada de financiamientos del de CDBG propuesta para ser usada en actividades que cumplirán con él objetivó nacional de beneficiar a personas de bajos recursos económicos; y
 - iv. Las actividades propuestas del programa de CDBG que son probables de resultar declinadas y la unidad general de gobierno y los planes de reemplazo requeridos bajo el Sec. 570.488
 - (4) Proveer asistencia técnica a grupos representativos de personas de bajos y moderados recursos que soliciten ayuda en el desarrollo de sus propuestas de acuerdo con el procedimiento desarrollado por el estado. Dicha asistencia no incluye proveer financiamiento a tales grupos;
 - (5) Participar en un mínimo de dos audiencias públicas, cada una en diferentes etapas del programa, con el propósito de obtener puntos de vista de los ciudadanos y responder a propuestas y preguntas. La audiencia en conjunto debe cubrir las necesidades de casa y desarrollo en la comunidad, desarrollo de actividades propuestas y la revisión del cumplimiento del programa. La audiencia pública que cubre el desarrollo de la comunidad y las necesidades de casa debe ser llevada a cabo en la fecha y lugares convenientes a beneficiarios actuales a potenciales, con lugares accesibles para discapacitados. Las audiencias publicas deben llevarse a cabo de cierta forma que cumplan las necesidades de residentes que no hablen Inglés ya que se espera que un numero razonable de estos participe en el programa.
 - (6) Informar a los ciudadanos con suficiente anticipación, y oportunidad de comentar al respecto, sobre actividades propuestas en solicitud al estado y, por subvenciones ya efectuados, actividades que sean propuestas para agregarse, eliminarse a ser cambiadas substancialmente de la solicitud de unidad general de gobiernos locales al estado. Cambiadas substancialmente significa que los cambios sean en términos de objetivó, alcance, lugar o beneficiario, como es definido bajo el criterio establecido por el estado.
 - (7) Proveer a los ciudadanos la dirección, el teléfono y las fechas y horario para entregar quejas y objeciones, y proveer oportunas respuestas por escrito a quejas entregadas por escrito, dentro de los primeros 15 días hábiles, cuando así pueda aplicarse.

ORDINANCE NO. _____

AN ORDINANCE REQUIRING BUSINESS LICENSES FOR RESIDENTIAL RENTAL HOUSING, AMENDING CHAPTER 5.10 AND SECTION 5.07.220 OF THE ABERDEEN MUNICIPAL CODE.

WHEREAS, real property owners engaged in the business of rental housing are exempt from state and local business and occupation taxes under the Washington State Supreme Court decision in *Apartment Operators' Association, Inc. v. Schumacher*, 56 Wn.2d 46 (1960) and have not been required to comply with Aberdeen's Business Licensing and Registration Code (Chpt. 5.10 AMC) because their business income would be fully deductible;

WHEREAS, the city council has determined that persons engaged in the business of rental housing should comply with licensing requirements, even though the income from their properties is not taxable under the *Apartment Operators' Association* decision, to assist the city in complying with state regulation of rental housing and to protect public health, safety, and welfare;

WHEREAS, the state Landlord Tenant Act mandates that cities inspect rental housing and furnish reports upon request from tenants and also mandates court proceedings for inspections of rental housing under the city's Unfit Dwellings, Buildings and Structures Code;

WHEREAS, inspections performed at the request of tenants and for violations of the Unfit Dwellings, Buildings, and Structures Code confirm that there exists rental housing in Aberdeen that is below minimum building standards and appears to violate the state Landlord Tenant Act (RCW 59.18.060);

WHEREAS, requiring business licenses for rental housing will provide the city with the resources to determine whether specific local standards for rental housing should be adopted and to partially off-set the cost of enforcing the state's mandatory inspection program for rental housing;

WHEREAS, requiring licenses for rental housing will also assist the city in enforcing its current unfit dwellings code by distinguishing between rental housing under the state Landlord-Tenant Act and other dwellings and structures that are not subject to the state rental housing inspection process; **NOW, THEREFORE**,

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ABERDEEN:

SECTION 1. CODE SECTION AMENDED. Ordinance 6373, in part, codified as AMC 5.10.020, is hereby amended to read as follows:

AMC 5.10.020 Definitions.

~~In construing the provisions of this chapter, save when otherwise declared or clearly apparent from the context, The definitions found in Chapters 5.02 and 5.06 Chapter 5.03 AMC shall apply herein to this chapter unless otherwise declared or clearly apparent from the context. Words or phrases used in this chapter that are not expressly defined shall be interpreted using the meaning they have in common usage and to give this chapter its most reasonable application.~~

SECTION 2. CODE SECTION AMENDED. Ordinance 6373, in part, codified as AMC 5.10.110, is hereby amended to read as follows:

AMC 5.10.110 ~~Business license fees—regulations—imposed~~ Director to make rules.

~~There are hereby imposed business license fees and regulations upon the businesses and occupations enumerated in sections 5.10.190, 5.10.200, 5.10.210, and 5.10.220 as deemed necessary in the interest of the public safety and welfare. The business license fee applicable to each type of business is due and payable on an annual basis, unless otherwise provided, and must be paid prior to the issuance of a city business license. Annual license fees may be prorated on a monthly basis in the first year of application only; renewal license fees may not be prorated. Unless provided otherwise, the license fees herein levied shall be additional to any license fee or tax imposed under any other law or ordinance. The Director shall have the power to adopt, publish and enforce rules and regulations for the purpose of carrying out the provisions of this chapter and it shall be unlawful to violate or fail to comply with any such rule or regulation.~~

SECTION 3. CODE SECTION AMENDED. Ordinance 6373, in part, codified as AMC 5.10.130, is hereby amended to read as follows:

AMC 5.10.130 Revocation of business license.

A. If a person defaults on the payment of any tax or fee required by this title, their business license shall be considered automatically revoked and invalid from the date of default. This revocation will have immediate force and effect without further notice to the license holder.

B. The director may revoke a business license by written notice to the license holder any time such person fails to comply with any provision of this title, unless otherwise provided. This revocation is effective upon the mailing of notice by the director.

C. It shall be unlawful for any person, business or corporation, or employee or officer of a business or corporation, to engage in business after the revocation of a license.

SECTION 4. NEW CODE SECTION ADOPTED. The following Section 5.10.195 is hereby added to the Aberdeen Municipal Code:

AMC 5.10.195 Supplemental license fees – regulated businesses.

There are hereby imposed additional business license fees and regulations upon the businesses and occupations regulated by sections 5.10.190, 5.10.200, 5.10.210, and 5.10.220 in order to protect the public safety and welfare. The business license fee applicable to each type of business is due and payable on an annual basis, unless otherwise provided, and must be paid prior to the issuance of a city business license.

SECTION 5. NEW CODE SECTION ADOPTED. The following Section 5.10.220 is hereby added to the Aberdeen Municipal Code:

AMC 5.10.220 Residential rental business license.

A. **License required.** Every rental unit owner shall obtain an annual residential rental business license, to be issued pursuant to this chapter, prior to operating, leasing, or causing to be leased, a rental unit. Rental unit owners must file a written application annually with the Director covering each rental unit to be leased. Each rental unit and each unit unavailable for rent must be separately identified in the application. Multiple rental units owned and operated by the same business entity on more than one premises may be included in a single license. No license shall be issued for a residential rental business unless the Director has received a complete application including the appropriate application fee. It is unlawful to lease any rental unit that is not listed in a current rental business license or in sub-section B, below.

B. **Exceptions.** The provisions of this section shall apply to all rental units, with the exception of:

1. Owner-occupied rental units;
2. Units unavailable for rent;
3. Housing accommodations in hotels, motels, inns or tourist homes;
4. Housing accommodations in retirement or nursing homes;
5. Housing accommodations in any hospital, state-licensed community care facility, convent, monastery or other facility occupied exclusively by members of a religious order or an extended medical care facility;

6. Housing accommodations that a government unit, agency or authority owns, operates or manages, or which are specifically exempted from municipal regulation by state or federal law or administrative regulation. This exception shall not apply once the governmental ownership, operation or management regulation is discontinued.

C. **Definitions.** In addition to the definitions that apply generally to this chapter, the following definitions and interpretations shall apply to the terms and phrases found in this section:

1. "Accessory dwelling unit" or "ADU" means a unit that meets the requirements of AMC 17.04.070(3).

2. "Lease" means any agreement that gives rise to relationship of landlord and tenant.

3. "Owner" means the owner of record as shown on the last Grays Harbor County tax assessment roll or such owner's authorized agent.

4. "Rental unit" means a unit occupied or leased by a tenant.

5. "Single-family residence" means a building, modular home, or new manufactured home designed to contain no more than one dwelling unit, plus one accessory dwelling unit.

6. "Tenant" means any adult person granted temporary use of a rental unit pursuant to a lease or rental agreement with the owner of the rental unit.

7. "Unit" means any structure or part of a structure, which is used as a home, residence or sleeping place by one or more persons, including but not limited to, single-family residences, duplexes, tri-plexes, four-plexes, multi-family dwellings, apartment buildings, condominiums, mobile homes and similar living accommodations.

8. "Unit unavailable for rent" means a unit whose owner has filed with the Director a statement signed under penalty of perjury that such unit is not offered or available for rent as a rental unit and that prior to offering or making the unit available as a rental unit, the owner will apply or re-apply for a Residential Rental Business License and comply with any applicable administrative regulations adopted pursuant to this chapter.

D. **License fee.** Residential rental businesses shall obtain an annual license under AMC 5.10.040 and pay an annual license fee of twenty-five dollars (\$25.00), plus an additional one dollar (\$1.00) for each rental unit identified in the license application.

SECTION 6. CODE SECTION AMENDED. Ordinance 6456, Section 3, in part, codified as AMC 5.07.220, is hereby amended to read as follows:

AMC 5.07.220 Unlawful actions – Violation - Penalties.

- (1) It shall be unlawful for any person liable for taxes or fees under this title:
 - (a) To violate or fail to comply with any of the provisions of this ~~chapter~~ title or any lawful rule or regulation adopted by the Director;
 - (b) To make any false statement on any license application or tax return;
 - (c) To aid or abet any person in any attempt to evade payment of a license fee or tax;

- (d) To fail to appear or testify in response to a subpoena issued pursuant to this title;
- (e) To testify falsely in any investigation, audit, or proceeding conducted pursuant to this title.

(2) Violation of any of the provisions of this ~~chapter~~ title is a gross misdemeanor. Any person convicted of a violation of this ~~chapter~~ title may be punished by a fine not to exceed ~~\$1,000~~ \$5,000, imprisonment not to exceed ~~one-year~~ 364 days, or both fine and imprisonment. The penalties or punishments provided in this ~~chapter~~ section shall be in addition to all other penalties provided by law.

(3) Any person, or officer of a corporation, convicted of continuing to engage in business after the revocation of a license shall be guilty of a gross misdemeanor and may be punished by a fine not to exceed \$5,000, or imprisonment not to exceed ~~one-year~~ 364 days, or both fine and imprisonment.

SECTION 7. SEVERABILITY. Should any section, subsection, paragraph, sentence, clause or phrase of this ordinance or its application to any person or situation be declared unconstitutional or invalid for any reason, such decision shall not affect the validity of the remaining portions of this ordinance or its application to any other person or situation.

SECTION 8. PUBLICATION BY SUMMARY. The Finance Director is authorized and directed to publish the attached summary in lieu of this ordinance.

SECTION 9. EFFECTIVE DATE. [THIS SECTION AMENDED JULY 22, 2015, ON FIRST READING] This ordinance shall take effect immediately upon its passage, signing, and publication; except that the amendments to AMC 5.07.220 in Section 6 shall take effect ~~July 1, 2015~~ January 1, 2016.

PASSED and APPROVED this ____ day of _____, 2015.

ATTESTED:

Bill Simpson, Mayor

Kathryn Skolrood, Finance Director

- (d) To fail to appear or testify in response to a subpoena issued pursuant to this title;
- (e) To testify falsely in any investigation, audit, or proceeding conducted pursuant to this title.

(2) Violation of any of the provisions of this ~~chapter~~ title is a gross misdemeanor. Any person convicted of a violation of this ~~chapter~~ title may be punished by a fine not to exceed ~~\$1,000~~ \$5,000, imprisonment not to exceed ~~one year~~ 364 days, or both fine and imprisonment. The penalties or punishments provided in this ~~chapter~~ section shall be in addition to all other penalties provided by law.

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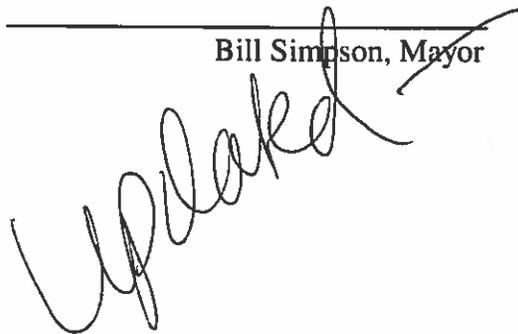
SECTION 9. EFFECTIVE DATE. This ordinance shall take effect immediately upon its passage, signing, and publication; except that the amendments to AMC 5.07.220 in Section 6 shall take effect July 1, 2015.

PASSED and APPROVED this ____ day of _____, 2015.

ATTESTED:

Kathryn Skolrood, Finance Director

Bill Simpson, Mayor



**LEGISLATIVE DEPARTMENT
CITY OF ABERDEEN**

MR. MAYOR:

THE MEMBERS OF
YOUR COMMITTEE ON: Public Works and the Public Works Director

TO WHOM IT WAS REFERRED: The establishment of the Aberdeen Stream Team

REPORTS AS FOLLOWS: As part of the NPDES Phase II Storm Water Permit, the City of Aberdeen has been mandated to provide opportunities for public involvement and participation in the decision making processes involving the development and implementation of the Aberdeen Storm Water Management Program. One such way for implementing this is through the formation of a watershed committee called a "*Stream Team*."

The formation of a Stream Team will allow the City a forum to request the required input and a group to promote and support watershed outreach by serving as a resource for information, education, stewardship, advocacy and action.

Activists in the community have demonstrated an effective ability to initiate activities that nicely complement the Aberdeen Storm Water Management Program. The following individuals have expressed an interest in serving as Stream Team officers: Clean Streams and Memes founder Joshua Francy, talented local volunteer Jared Figlar Barnes, Chehalis Basin Partnership Watershed Coordinator Kristen Harma, City Council Person Alan Richrod, and Deputy Public Works Director Rick Sangder.

THEREFORE, IT IS RECOMMENDED: That the Mayor be authorized to appoint the reported individuals listed above to serve on this, the initial formation of the Aberdeen Stream Team.

Malcolm Bowie
Public Works Director

CHAIRMAN

Reported _____, 2015

Adopted _____, 2015

COMMITTEE

Bylaws
ABERDEEN STREAM TEAM
August 21, 2015

Article I – Name

Section 1. The name of the organization shall be Aberdeen Stream Team.

Article II – Purpose

Section 1. The Aberdeen Stream Team promotes and supports watershed outreach by serving as a resource for information, education, stewardship and advocacy.

Section 2. Stream Team members actively learn about their watershed through participation in on-the-ground research and restoration projects. Members may:

- Participate in water quality monitoring
- Measure stream flows
- Conduct biological assessments
- Participate in restoration projects such as stream cleanups, invasive plant removal and riparian plantings.

In addition, members may be asked to participate in education and outreach activities about watershed and salmon issues within their community.

Section 3. The Stream Team shall organize 3 volunteer activities annually. A volunteer activity is any activity outside normal membership and board meetings where there are 5 or more volunteers working together in a watershed education or watershed stewardship endeavor.

Article III – Membership

Section 1. Membership in the Aberdeen Stream Team shall be comprised of volunteers interested in the overall health of the Chehalis River watershed in and around the City of Aberdeen.

Section 2. Membership is open to anyone ten years of age or older regardless of race, color, national origin, sex, handicap or sexual orientation as long as they are willing to accept adult supervision & direction.

Section 3. Members under the age of 16 must be accompanied by a parent or legal guardian.

Section 4. Any member meeting the membership requirements may participate in meetings, events, volunteer activities or other activities as yet undetermined.

Section 5. Membership in the Aberdeen Stream Team can be revoked by the board for conduct deemed inappropriate or damaging to the Aberdeen Stream Team or the City of Aberdeen.

Article IV – Officers

Section 1. The board shall be comprised of 5 voting officers . Two position shall be filled by a City of Aberdeen Public Works Supervisor and a City of Aberdeen Council Member. The officers of the Aberdeen Stream Team shall be President, Vice President, Recording Secretary and two other voting officers.

Section 2. The officers of the Aberdeen Stream Team shall be appointed by the Aberdeen Mayor as recommended by the City Council.

Section 3. Any officer may be removed, with or without cause, by a 100% pro vote of the advisors.

Article V – Duties of Officers

Section 1. PRESIDENT: The President shall preside at all meetings of the Team and shall preform such duties as are incident to the office.

Section 2. VICE PRESIDENT: In the absence of the President shall perform the duties of that office. In case of permanent disability or resignation of the President, they shall succeed that office.

Section 3. RECORDING SECRETARY: The Recording Secretary shall keep an accurate and permanent record of the membership meetings of the Aberdeen Stream Team and Aberdeen Stream Team meetings of the Board. The Recording Secretary will also be responsible for monitoring of reimbursable expenditures and receipts.

Article VI – Board of Directors

Section 1. The five officers of the Aberdeen Stream Team shall constitute the Board of Directors.

Section 2. At the discretion of the Board a stipend in the amount of \$250.00 may be granted to the president of the Aberdeen Stream for filling the supervisory and organizational role of a volunteer activity. The stipend can be awarded up to 3 times annually.

Section 3. The Board may amend to include or omit any provision of these bylaws that it can lawfully include or omit at the time the amendment is made. Upon written notice of at least 30 days, any number of amendments or an entire revision of the bylaws may be submitted and voted upon at a special, regular, or annual meeting of the Board and will be adopted at such meeting upon receiving an 2/3 vote of the members of the Board present at the meeting.

Article VII – Meetings

Section 1. Regular membership meetings of the Aberdeen Stream Team shall be held at a mutually agreed upon time on the first Tuesday of every even numbered month. The location of Aberdeen Stream Team meetings shall be determined and secured by the City of Aberdeen Advisors.

Section 2. Meetings shall be held to discuss the needs and direction of the Aberdeen Stream Team as well as to plan future events and volunteer opportunities.

Section 3. Notice of special meetings will be provided by telephone or e-mail to the membership, at least three days prior to the day of such meeting.

Section 4. Special meetings of the Board may be called at any time by the Board's president or, in his or her absence, by the Vice President, or upon receipt of a written request signed by 60% of the Board members. Special meetings may be conducted and decisions made via phone or e-mail. Minutes of said meeting shall be documented and filed and will be submitted for approval at the next regular meeting.

Article VIII – Miscellaneous

Section 1. The fiscal year of the Aberdeen Stream Team shall be January 1 through December 31.

MAYOR: Hon. Bill Simpson

THE MEMBERS OF
YOUR COMMITTEE ON: Public Works

TO WHOM WAS REFERRED: Community Development Director

RE: CDBG RESOLUTION AND AUTHORIZATION TO SUBMIT
APPLICATION TO THE WASHINGTON STATE DEPARTMENT OF
COMMERCE ON BEHALF OF CRAFT 3

REPORT AND RECOMMEND AS FOLLOWS:

The Department of Commerce's Community Development Block Grant (CDBG) Economic Opportunity Grants are made available annually through a competitive application process to assist Washington State small cities, towns and counties in carrying out economic development and energy efficiency project that promote vibrant rural communities.

The purpose of the state CDBG Programs is to improve and maintain the economic and physical environment of eligible, non-entitlement cities and counties in order to enhance the quality of life for low-and-moderate income residents and, as a result, benefit the entire community.

The City of Aberdeen is preparing a grant to submit to the Department of Commerce for \$3,000,000 for renovation of the Morck Hotel. Documents are available on the back table outlining the proposed project.

Therefore, it is recommended that the City Council authorize the Mayor to sign all documents pertaining to this grant and pass the Resolution authorizing the City of Aberdeen to submit this Community Development Block Grant to the Department of Commerce on behalf of Craft 3.

Lisa Scott, Director
Community Development

Public Works Chair

Vice Chair

Reported: August 25, 2015

Committee member

Adopted: August 25, 2015

Committee member

MORCK RENOVATION, LLC

Project Summary

Company Name: Morck Renovation, LLC

Address: 215 K Street

County: Grays Harbor County

City: Aberdeen **State:** WA **Zip Code:** 98520

Contact: Chester Trabucco

Mobile: 425-922-4636

Email: ctrabucco46@comcast.net

Date Established: October 2010

Form of Organization: LLC

DUNS Number: TBD

Federal ID Number: 80-0526773

Phone:

Fax: None

NAICS: 721110

Date: October 5, 2014

Brief Description and History of Project: Morck Renovation, LLC was formed in 2010 to acquire and renovate the historic Morck Hotel, located in Aberdeen, Washington. The development is located in the heart of Aberdeen's historic downtown located adjacent to US Highway 101. The Morck Hotel renovation will result in an 85-room luxury boutique hotel with a two-story lobby, a historic ballroom, a 125-seat restaurant/lounge and a mezzanine-level wine bar. A spacious rooftop deck area affording spectacular views of the Chehalis River will undoubtedly become one of the signature features of the property. The Morck Hotel will have an overall square footage of approximately 70,000 square feet. Room sizes will range from standard accommodations of around 325 square feet (average) to the fifth floor, 750 square-foot suites equipped with fireplaces and dining rooms. (Fireplaces will also be provided in 15 of the other suites). Parking will be provided for up to 100 cars on property contiguous to the site.

Originally constructed in 1924, the hotel was built with 150 rooms and designed to be the pride of the region. Prior to the current investment team obtaining the property, the interior had been professionally demolished (including removal of all asbestos) down to the reinforced concrete structure. The hotel had been used for low-income housing for over 40-some years prior to that. The Morck Hotel, once the grandest hotel between Tacoma and Portland, had long since lost its reputation as "the premier venue" to stage virtually any important event in the area as it had been able to claim for its first fifty years of operations.

The Morck Hotel building was purchased in 2010 by an LLC established solely for the purpose of renovating the historic vacant hotel and the adjacent properties. It was understood by the group at that time that this was a "buy and hold" proposition as the economy was still in the depths of the recession. As such, activities associated with the Project were limited to conducting ongoing cleaning and maintenance and some external cosmetic improvements including the repainting of the hotel's exterior in 2013. By fall of 2013, it was clear to the development team that the hospitality sector was heating up enough to re-engage the Project as both the State of Washington and the City of Seattle were registering some impressive gains in both Average Daily Rate (ADR) and Occupancy % (OCC). Beginning in mid-to-late 2013 the development team completed efforts to assemble its group of professionals, finalize the offering package and begin to get the prospectus out to investors and capital markets.

The Aberdeen/Hoquiam area is centrally located within a short drive of Ocean Shores and Westport, Washington, the Long Beach Peninsula, and the Oregon coastal towns of Astoria, Seaside and Cannon Beach. Tourists visiting the area will seek out the Morck Hotel for its central location and a new experience on Washington's central coast. Nearby is the regionally popular D&R Theater which has undergone a multi-million dollar renovation as a 1200-seat performing arts theater, a new conference

MORCK RENOVATION, LLC

Project Summary

center, quality restaurants; two major museums including the acclaimed Polson Logging Museum and Aberdeen Museum of History and quality retail shops. The project is also in close proximity to a riverfront walking/jogging/bicycling trail that runs two miles parallel to the Chehalis River.

The target audience of the Morck Hotel will be the mid-range to upscale traveler seeking a unique boutique hotel experience in the heart of an urban setting. Patronage by travelers from major metropolitan areas in the Northwest of similar properties such as Portland's Governor Hotel, Vintage Plaza, Fifth Avenue Suites and the Heathman Hotel, Seattle's Inn at the Market and Alexis Hotel, or Spokane's own Hotel Davenport and Hotel Lusso suggest strong acceptance of boutique "destination" hotels. Additionally, Astoria, Oregon is experiencing strong market acceptance for its three new boutique hotels in a market one-half the size of Aberdeen. Marketing efforts will also target small and medium groups for business, retreats and conferences drawing upon its' on-site, state-of-the art meeting facilities. There is a significant market for this type of facility for prospects within 150 miles of Aberdeen, as evidenced by the success of regional facilities such as the Alderbrook Resort and the Quinault Beach Resort and Casino.

Principal members of the Morck Renovation LLC development team include Seattle, Washington developer Chester Trabucco, who was responsible for the renovation of the Hotel Elliott in his hometown of Astoria, Oregon along with a number of other historically significant commercial properties in that community. Rice Fergus Miller, a regionally recognized architectural firm from Bremerton, Washington and Eric Jacobsen, principal in Jacobsen Real Estate of Lake Oswego, Oregon, a veteran hospitality developer, rounds out the team. Added recently is Norm McLaughlin, former Economic Development Director from nearby Bremerton, WA, a noted expert on the use of New Market and Historical Tax Credits (NMTC's) for financing economic development projects in qualified areas. The development team will engage Seattle-based marketing and public relations firm Richmond Public Relations (RPR) to help the Morck management team launch its' marketing campaign. RPL has extensive regional and nationwide hospitality experience, including longstanding engagements with downtown Seattle's famed Edgewater Hotel, the Honua Kai Resort and Spa in Hawaii and the very successful Kimpton Hotel and Starwood chains. JR Abbott, a Seattle-based general contractor familiar with the developer and the region, will help rebuild the hotel.

There is very limited "competition" for quality hotel rooms in the Aberdeen/Hoquiam area; Guest House Inn and Suites is the only local facility considered to offer any credible alternative for the targeted customer base but is essentially an "economy" motor inn. The Guest House Inn and Suites has enjoyed success in its inaugural years as the only newer hotel inventory in the area, but is not a draw in itself, rather a well-operated family-class motor inn offering a safe and clean environment with an indoor swimming pool, but limited by no meeting areas and no onsite restaurant. While its location (east end of Aberdeen) provides good visibility from the highway, it is not central to town resulting in most area attractions accessible only by car.



The Morck Hotel
Renovation
Aberdeen, Washington

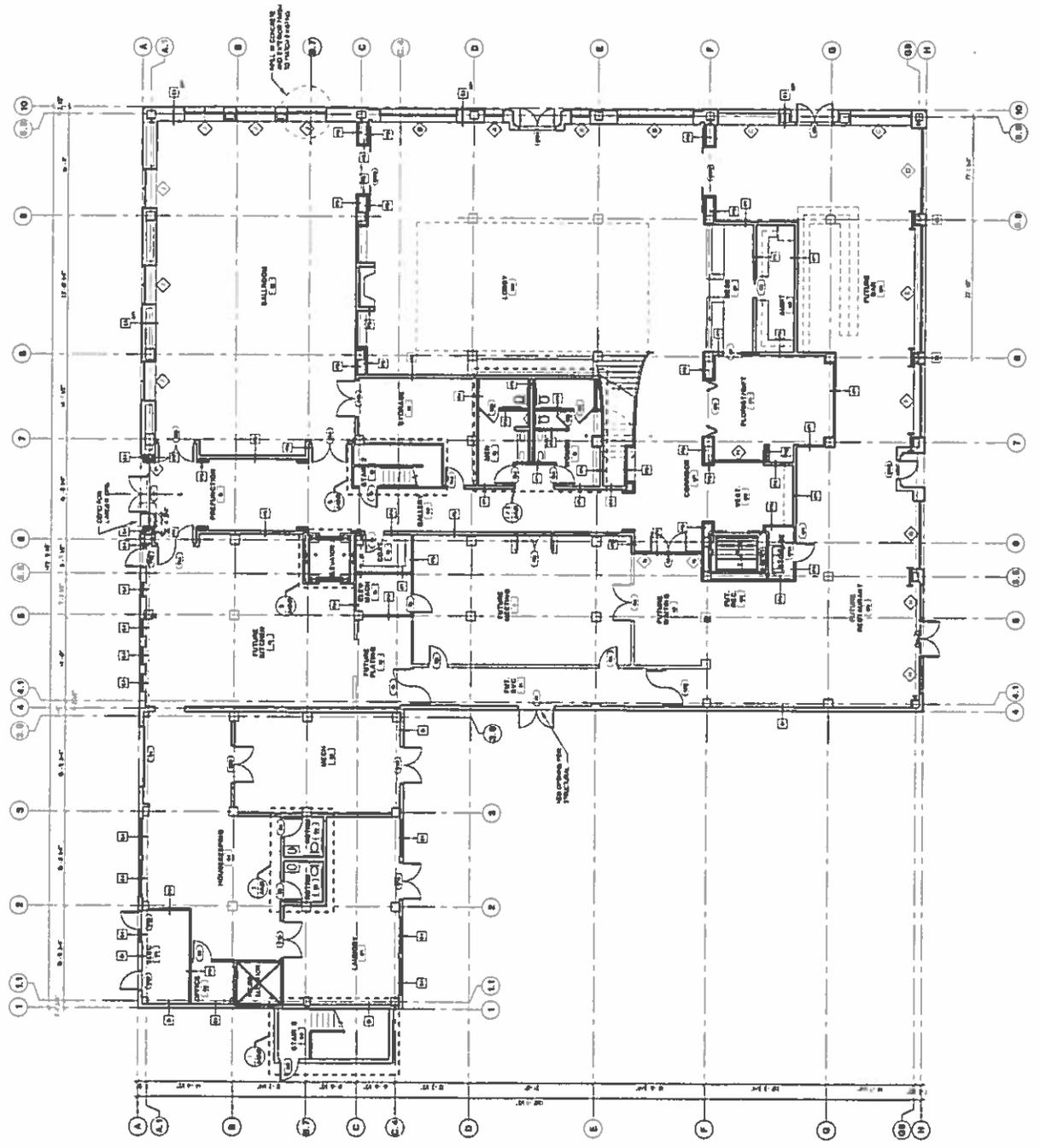
PROJECT #: 200500408
PROCESS PACKAGE
ISSUES: 1-1-07
REVISIONS:

FLOOR PLAN
LEVEL 1

SHEET:
A21.01

GENERAL NOTES

1. REFER TO ALL PROJECTS FOR SPECIFIC CODES, PERMITS AND REGULATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE.
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20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, AS APPLICABLE.



1 FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

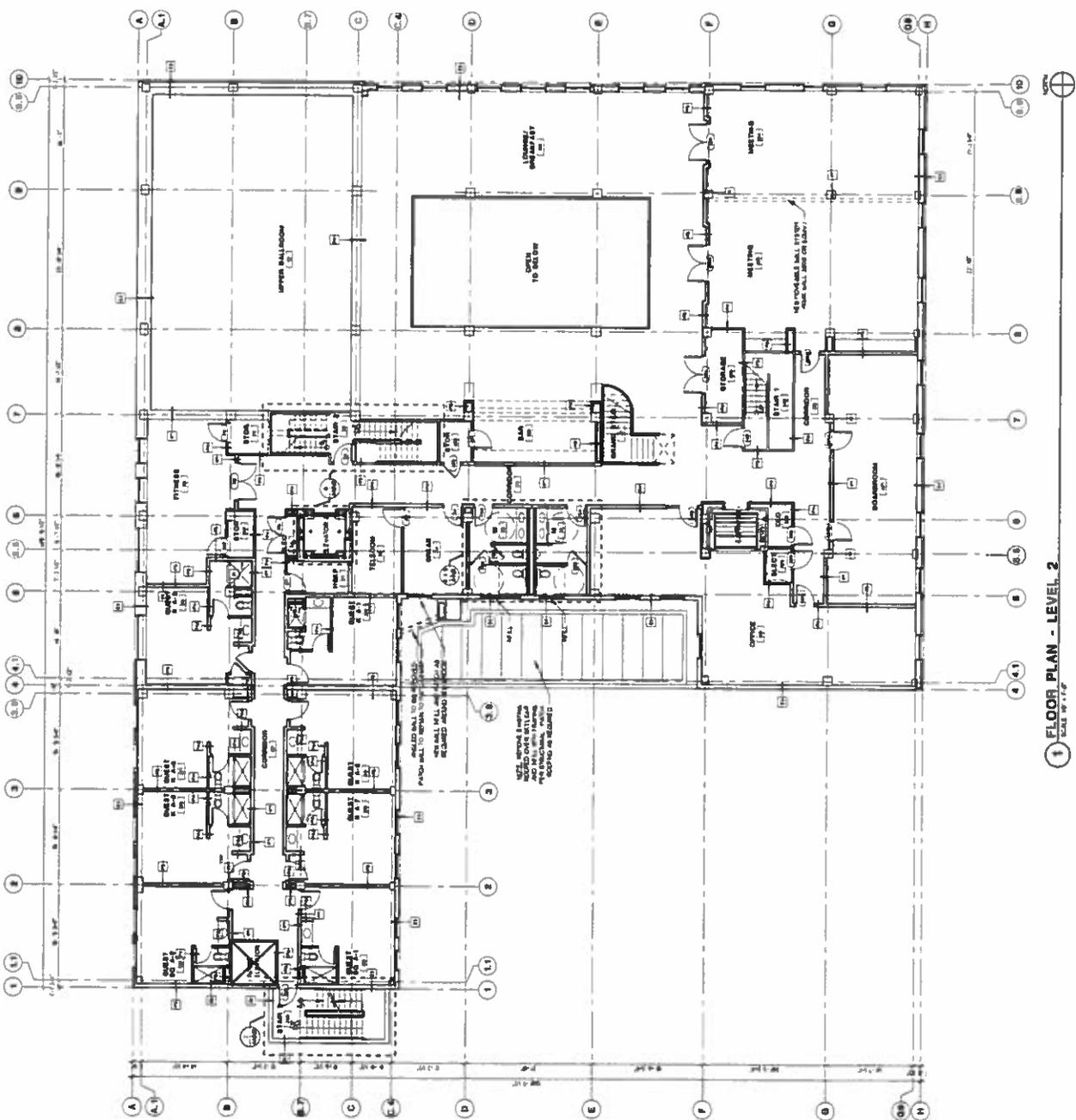


The Morck Hotel
 Renovation
 Aberdeen, Washington

PROJECT #	200900000
PROJECT NAME	PROGRESS PAVANCE
ISSUED	3-5-07
REVISED	
FLOOR PLAN	
LEVEL 2	
SHEET	
A21.02	

GENERAL NOTES

1. PROVIDE CURB AND GUTTER AS SHOWN ON SHEET 200900000.
2. ALL EXISTING WALLS TO REMAIN SHALL BE REFINISHED TO MATCH EXISTING FINISHES.
3. ALL NEW WALLS SHALL BE CONSTRUCTION OF 8" CMU WITH INTERIOR FINISHES.
4. ALL INTERIORS SHALL BE FINISHED TO MATCH EXISTING FINISHES.
5. ALL EXISTING WALLS TO REMAIN SHALL BE REFINISHED TO MATCH EXISTING FINISHES.
6. ALL NEW WALLS SHALL BE CONSTRUCTION OF 8" CMU WITH INTERIOR FINISHES.
7. ALL EXISTING WALLS TO REMAIN SHALL BE REFINISHED TO MATCH EXISTING FINISHES.
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18. ALL NEW WALLS SHALL BE CONSTRUCTION OF 8" CMU WITH INTERIOR FINISHES.
19. ALL EXISTING WALLS TO REMAIN SHALL BE REFINISHED TO MATCH EXISTING FINISHES.
20. ALL NEW WALLS SHALL BE CONSTRUCTION OF 8" CMU WITH INTERIOR FINISHES.



FLOOR PLAN - LEVEL 2
 SCALE: 1/4" = 1'-0"

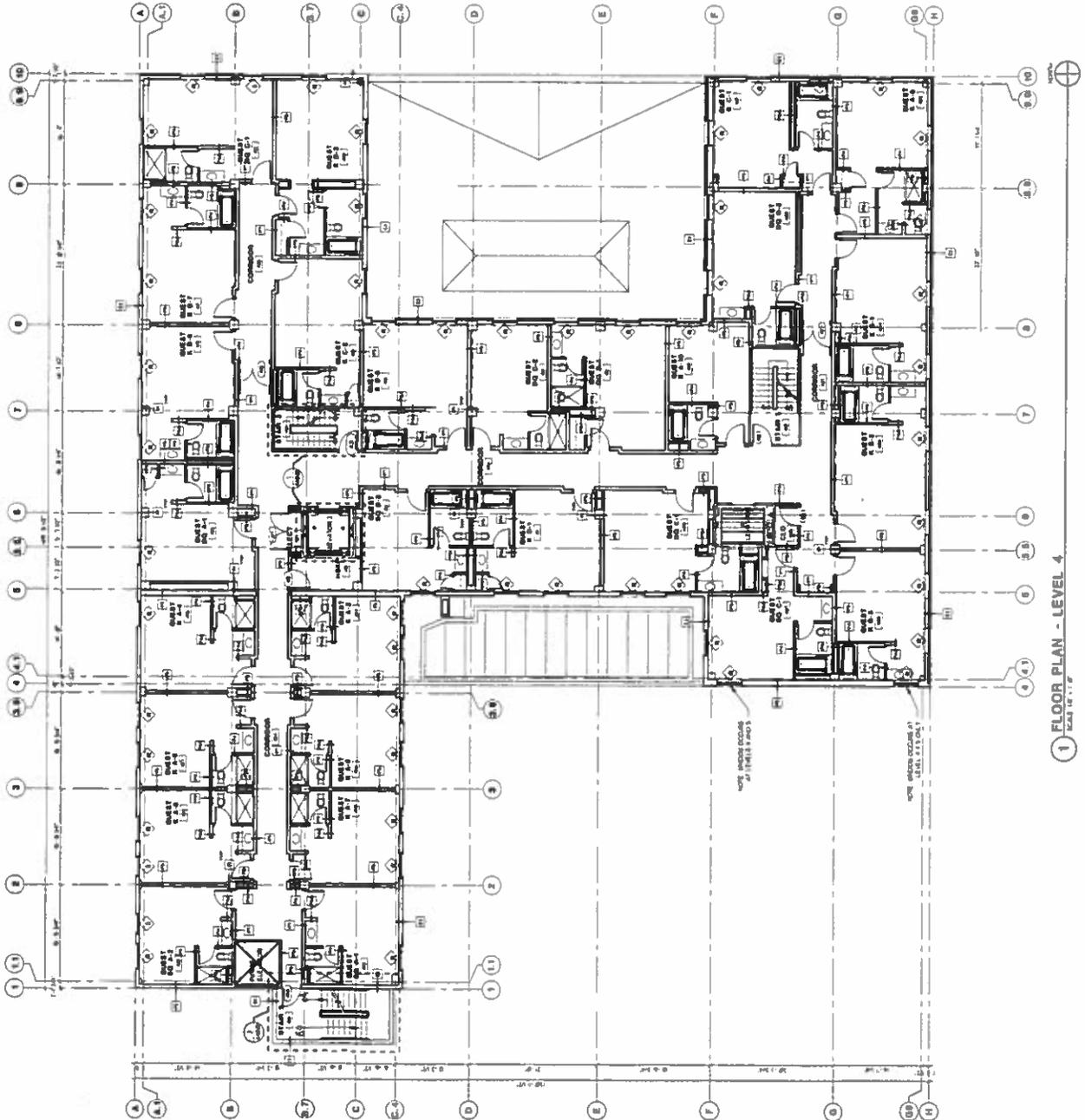


PROJECT #:	202009010
PROGRESS PAGES:	
ISSUED:	3-9-07
REVISIONS:	

FLOOR PLAN
LEVEL 4

GENERAL NOTES

1. PROVIDE FLOOR FINISHES TO MATCH EXISTING OR, IF DIFFERENT, TO THE EXISTING FINISHES. VERIFY ALL FINISHES WITH THE ARCHITECT.
2. VERIFY ALL FINISHES WITH THE ARCHITECT.
3. PROVIDE ALL FINISHES TO MATCH EXISTING OR, IF DIFFERENT, TO THE EXISTING FINISHES. VERIFY ALL FINISHES WITH THE ARCHITECT.
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20. PROVIDE ALL FINISHES TO MATCH EXISTING OR, IF DIFFERENT, TO THE EXISTING FINISHES. VERIFY ALL FINISHES WITH THE ARCHITECT.



1 FLOOR PLAN - LEVEL 4
 1/2" = 1'-0"



The Morck Hotel
 ■ ■ ■
 Renovation
 Aberdeen, Washington

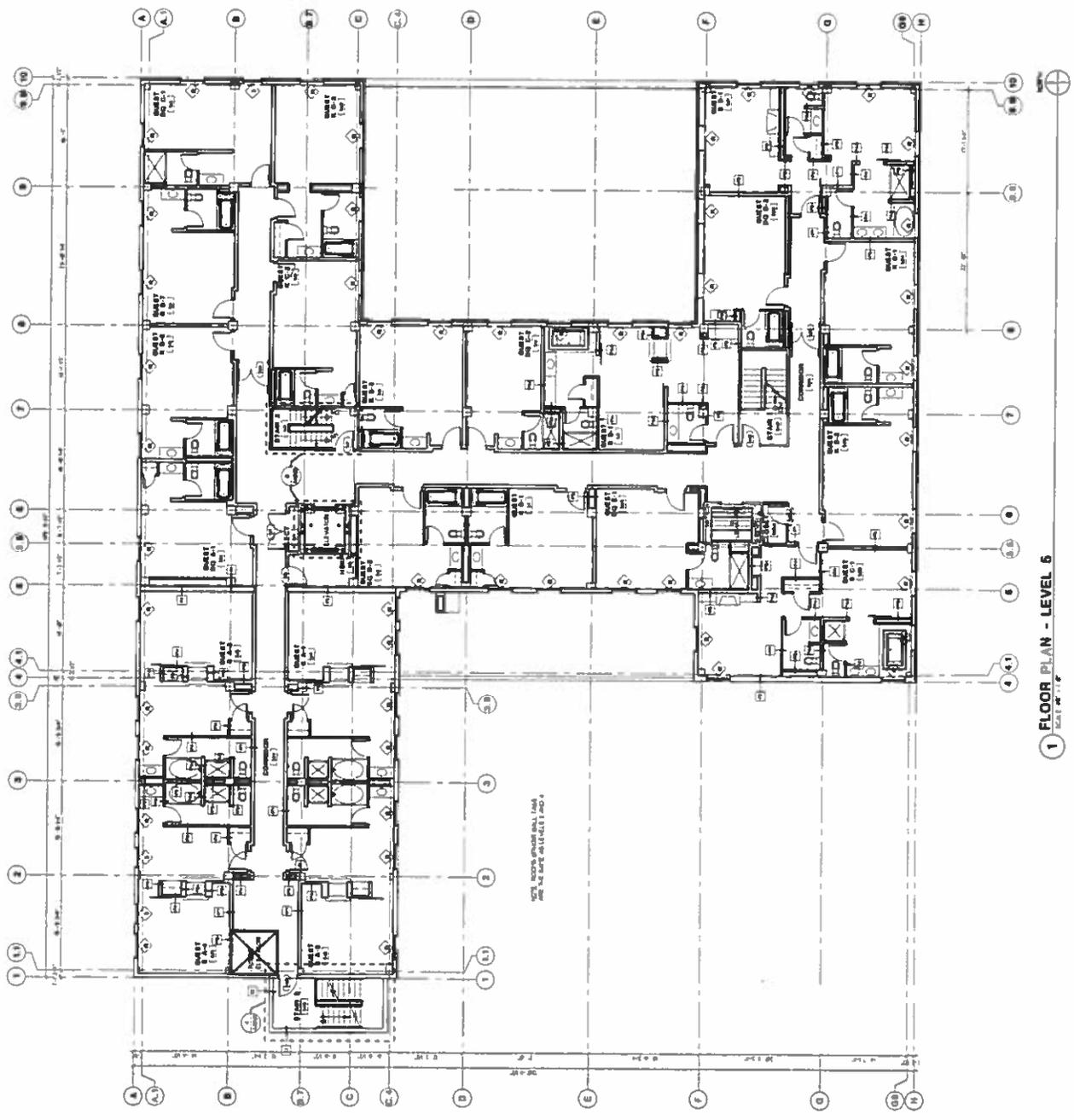
PROJECT # 200800140
 PROGRESS PACKAGE
 SHEET: 1-10-07
 REVISIONS:

FLOOR PLAN
 LEVEL 5

SHEET
A21.05

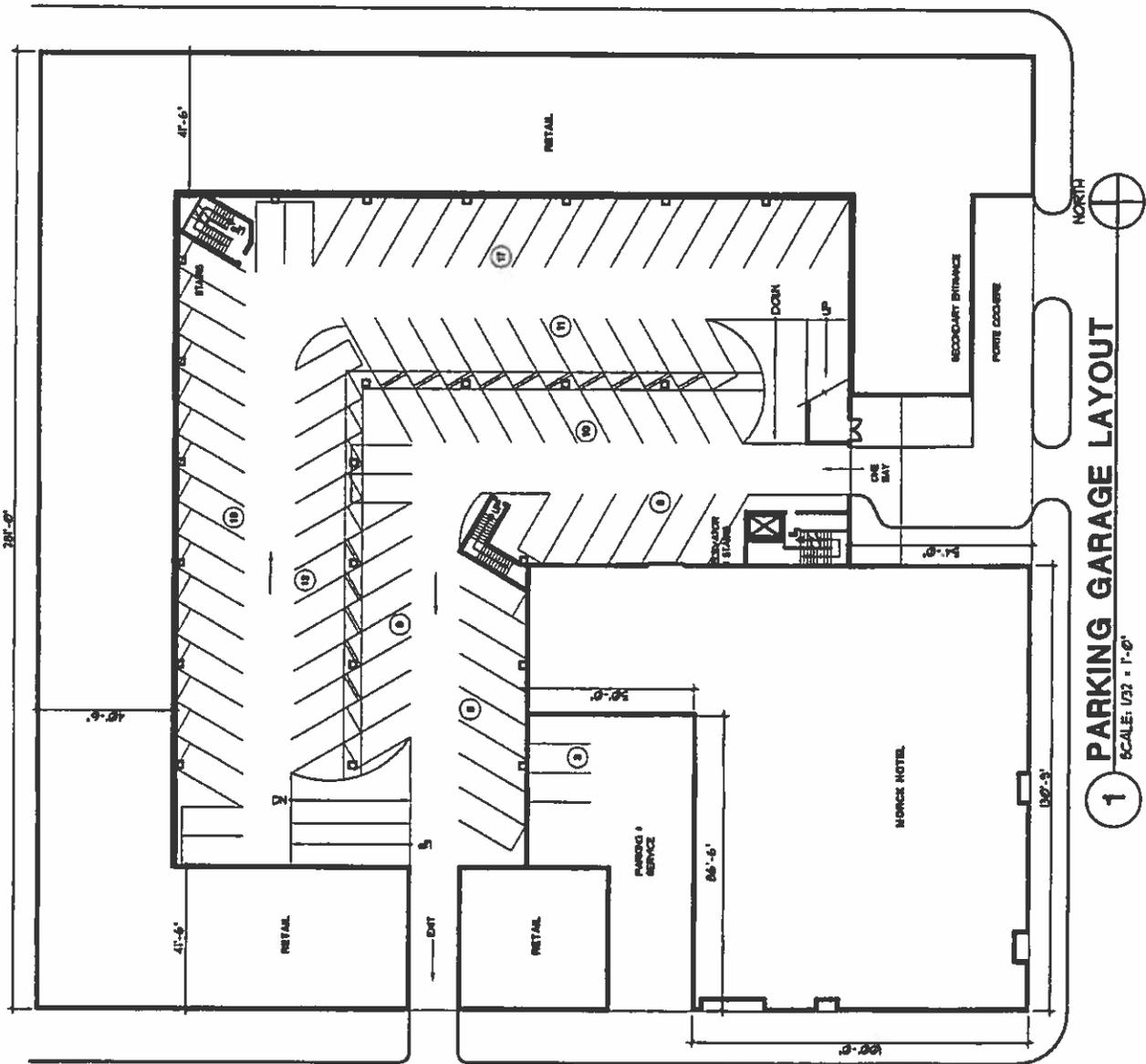
GENERAL NOTES

1. CONSULT WITH THE ARCHITECT FOR THE LOCATION OF THE EXISTING AND PROPOSED CURBS, DRIVEWAYS, SIDEWALKS, AND OTHER PAVEMENT AREAS.
2. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE DEPARTMENT OF PUBLIC UTILITIES (DPW) STANDARDS AND SPECIFICATIONS.
3. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE DEPARTMENT OF PUBLIC UTILITIES (DPW) STANDARDS AND SPECIFICATIONS.
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20. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE DEPARTMENT OF PUBLIC UTILITIES (DPW) STANDARDS AND SPECIFICATIONS.



1 FLOOR PLAN - LEVEL 5
 SHEET 1-10-07

SUMMARY
 94 SPACES LEVEL 1
 91 SPACES LEVEL 2
 88 SPACES LEVEL 3
 273 TOTAL SPACES
 REVISED ALLEY
 LOCATION



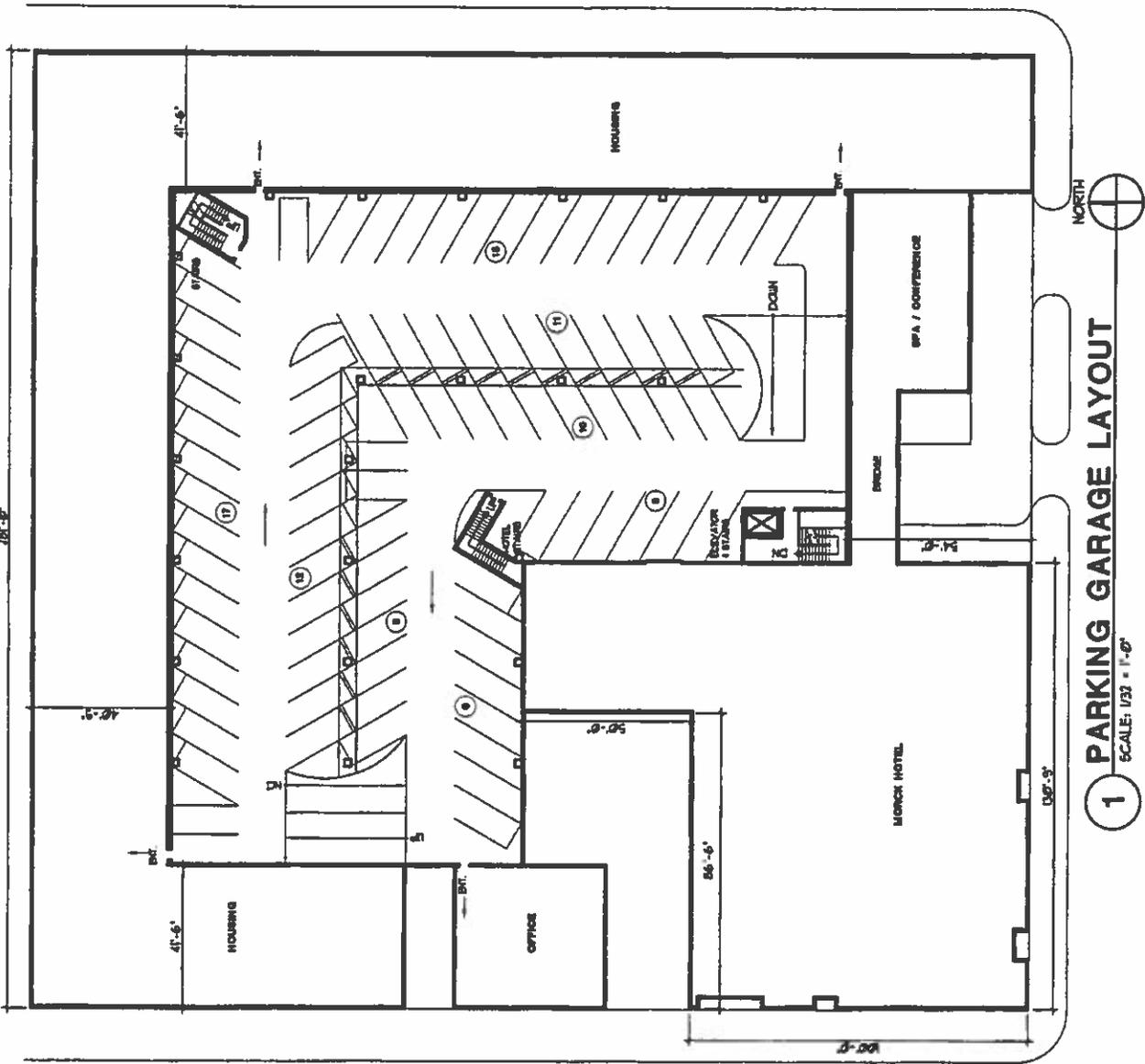
1 PARKING GARAGE LAYOUT
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MORCK HOTEL
 ■ ■ ■
 PARKING LAYOUTS
 ABERDEEN, WASHINGTON

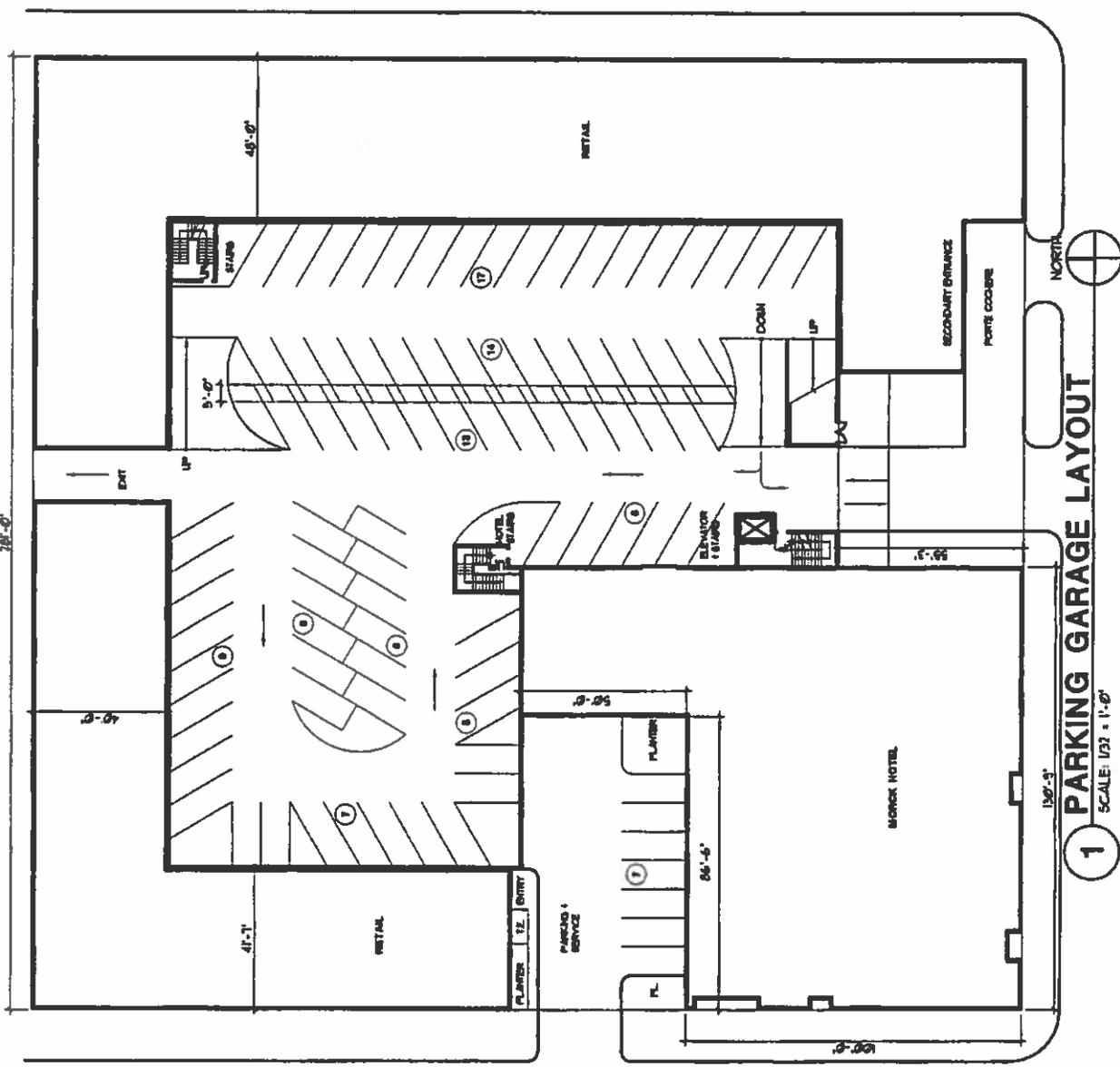
PROJECT #	200909
SCHEMATIC DESIGN	
ISSUES	04/07/09
REVISION	
LEVEL	3

SUMMARY
 94 SPACES LEVEL 1
 91 SPACES LEVEL 2
 88 SPACES LEVEL 3
 273 TOTAL SPACES
 REVISED ALLEY
 LOCATION



1 PARKING GARAGE LAYOUT
 SCALE: 1/32" = 1'-0"

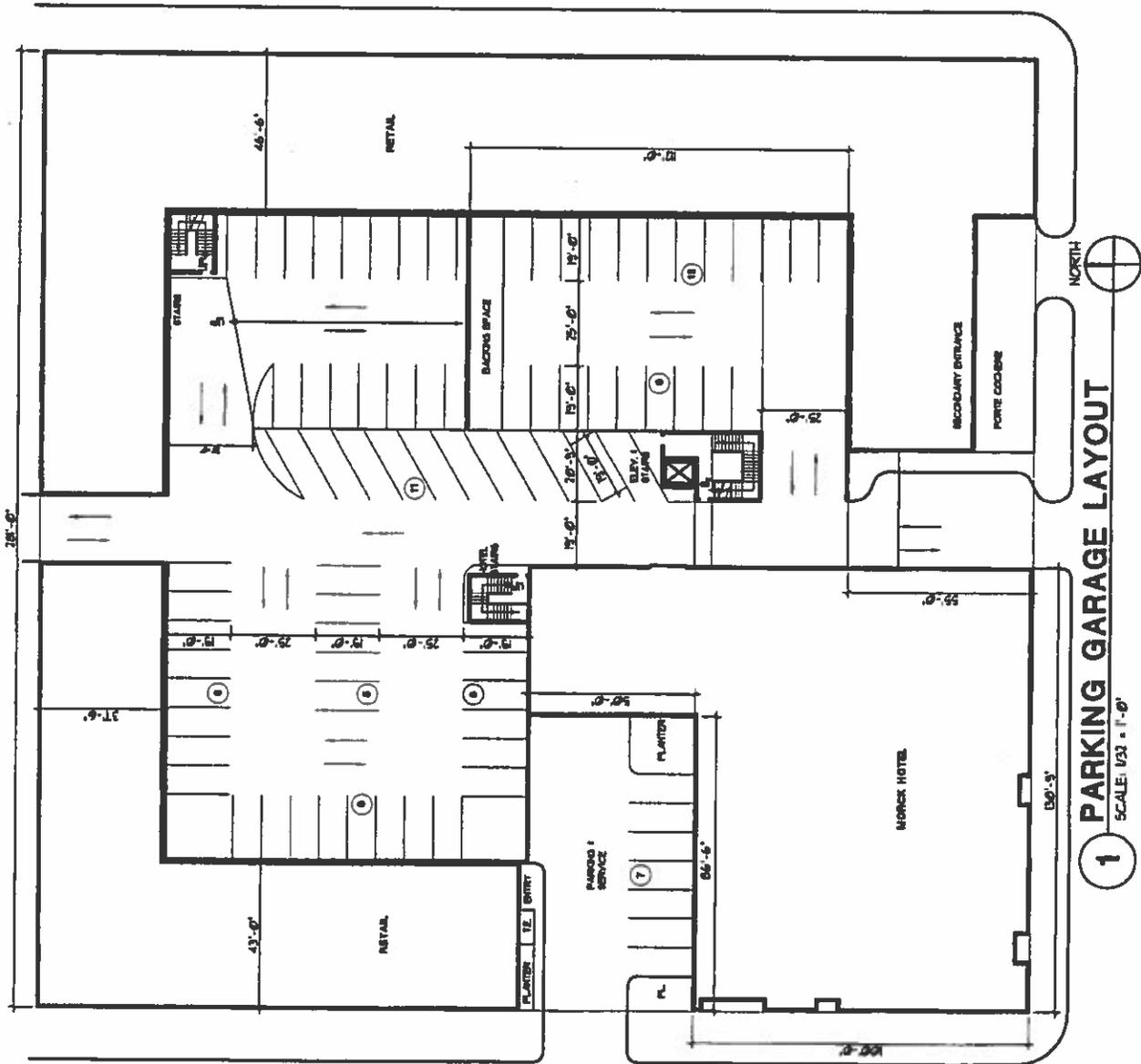
SUMMARY
 94 SPACES LEVEL 1
 86 SPACES LEVEL 2
 86 SPACES LEVEL 3
 266 TOTAL SPACES
 REVISED ALLEY
 LOCATION



1 PARKING GARAGE LAYOUT
 SCALE: 1/32" = 1'-0"

PROJECT #	200909
SCHEMATIC DESIGN	
REVISION	DATE
OPTION 3	

SUMMARY
 66 SPACES LEVEL 1
 11 SPACES LEVEL 2
 19 SPACES LEVEL 3
 222 TOTAL SPACES
 MAINTAINS CURRENT ALLEY LOCATION



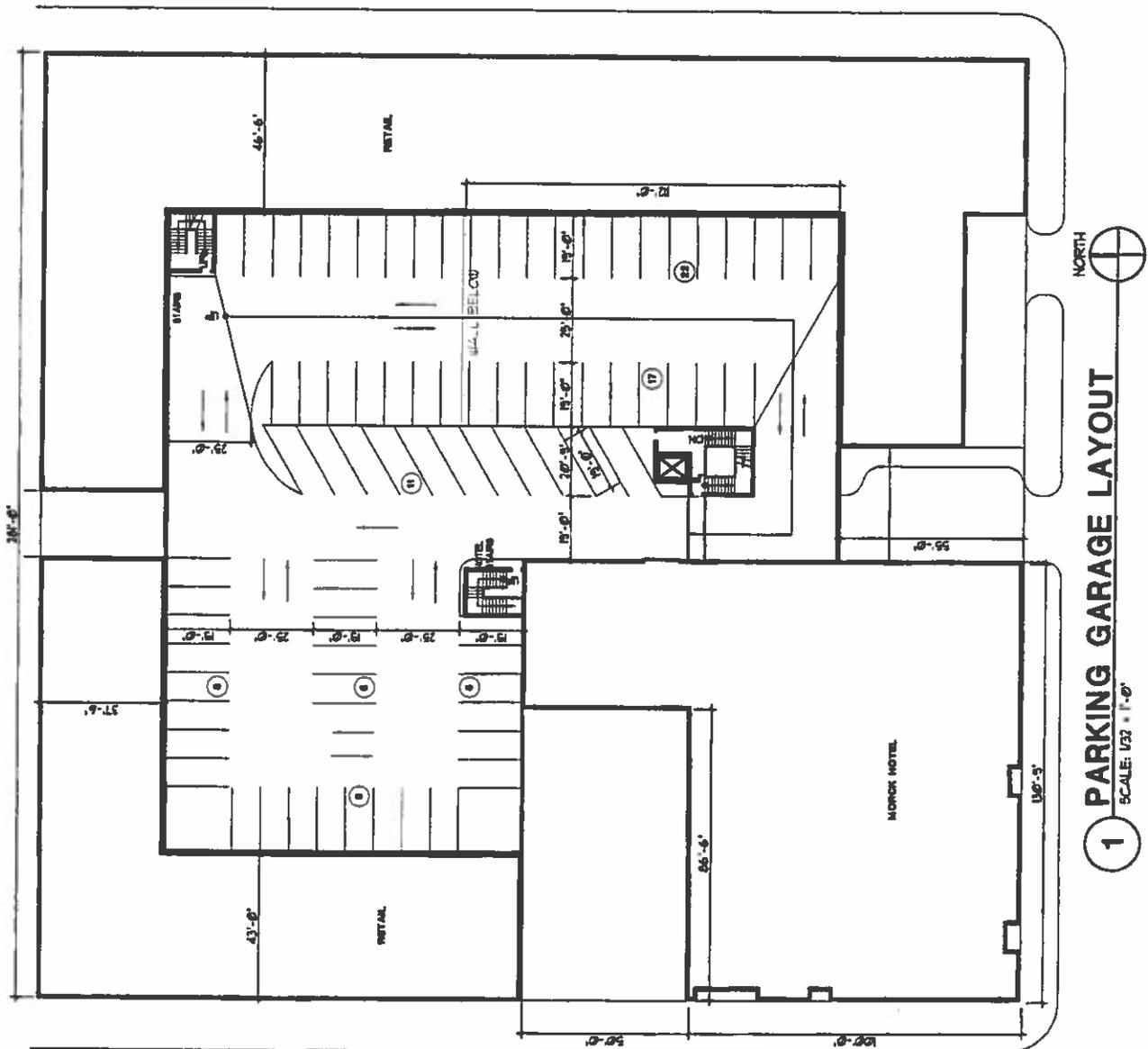
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 SCALE: 1/32" = 1'-0"

PROJECT #	200909
SCHEMATIC DESIGN	
DATE	04/07/08
SECTION 3	
LEVEL 2	
LEVEL 1	

SUMMARY

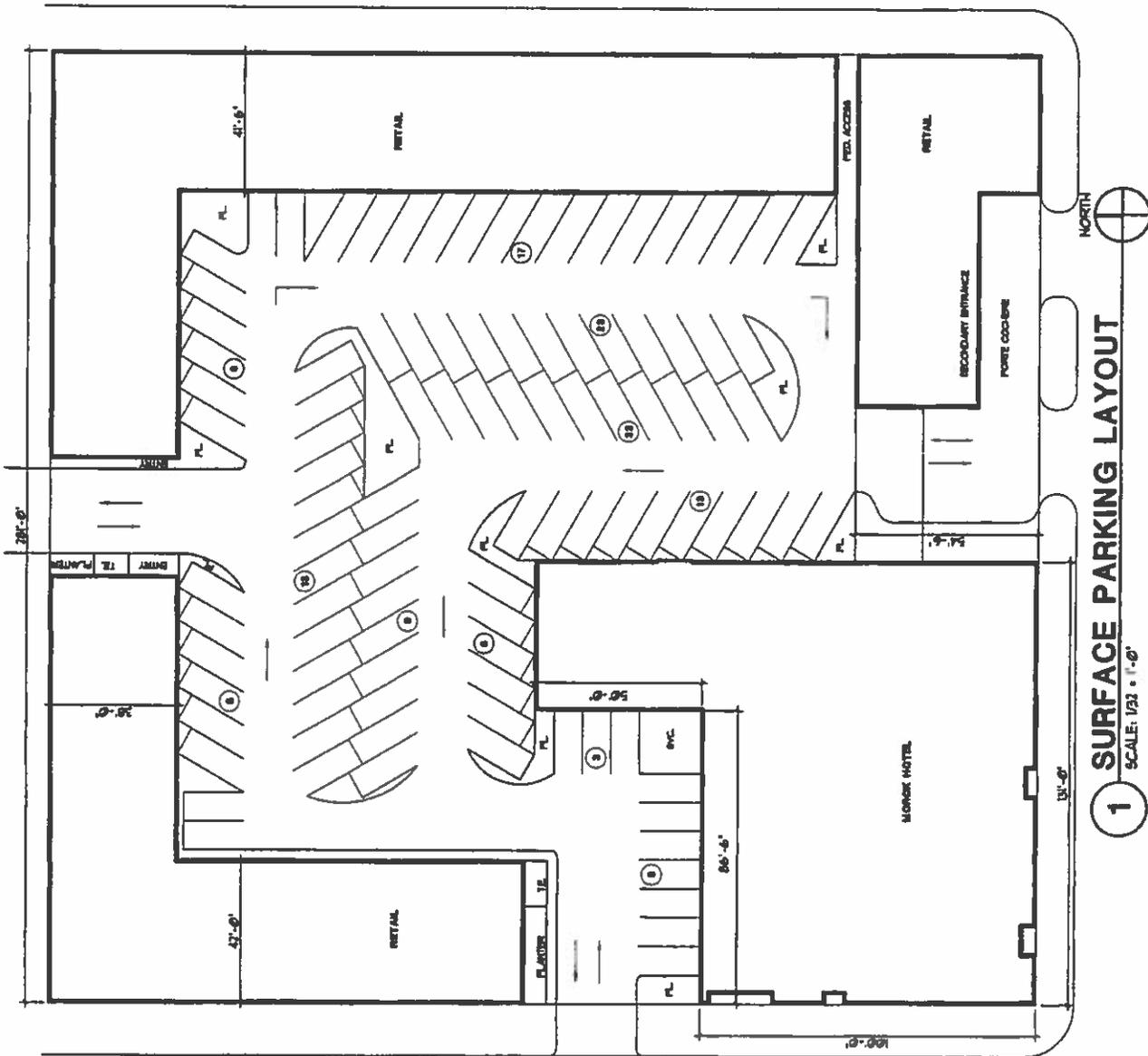
66	SPACES LEVEL 1
11	SPACES LEVEL 2
79	SPACES LEVEL 3
222	TOTAL SPACES

MAINTAINS CURRENT ALLEY LOCATION



1 PARKING GARAGE LAYOUT
 SCALE: 1/32" = 1'-0"

SUMMARY
 127 SPACES (SURFACE)
 REVISED ALLEY
 LOCATION



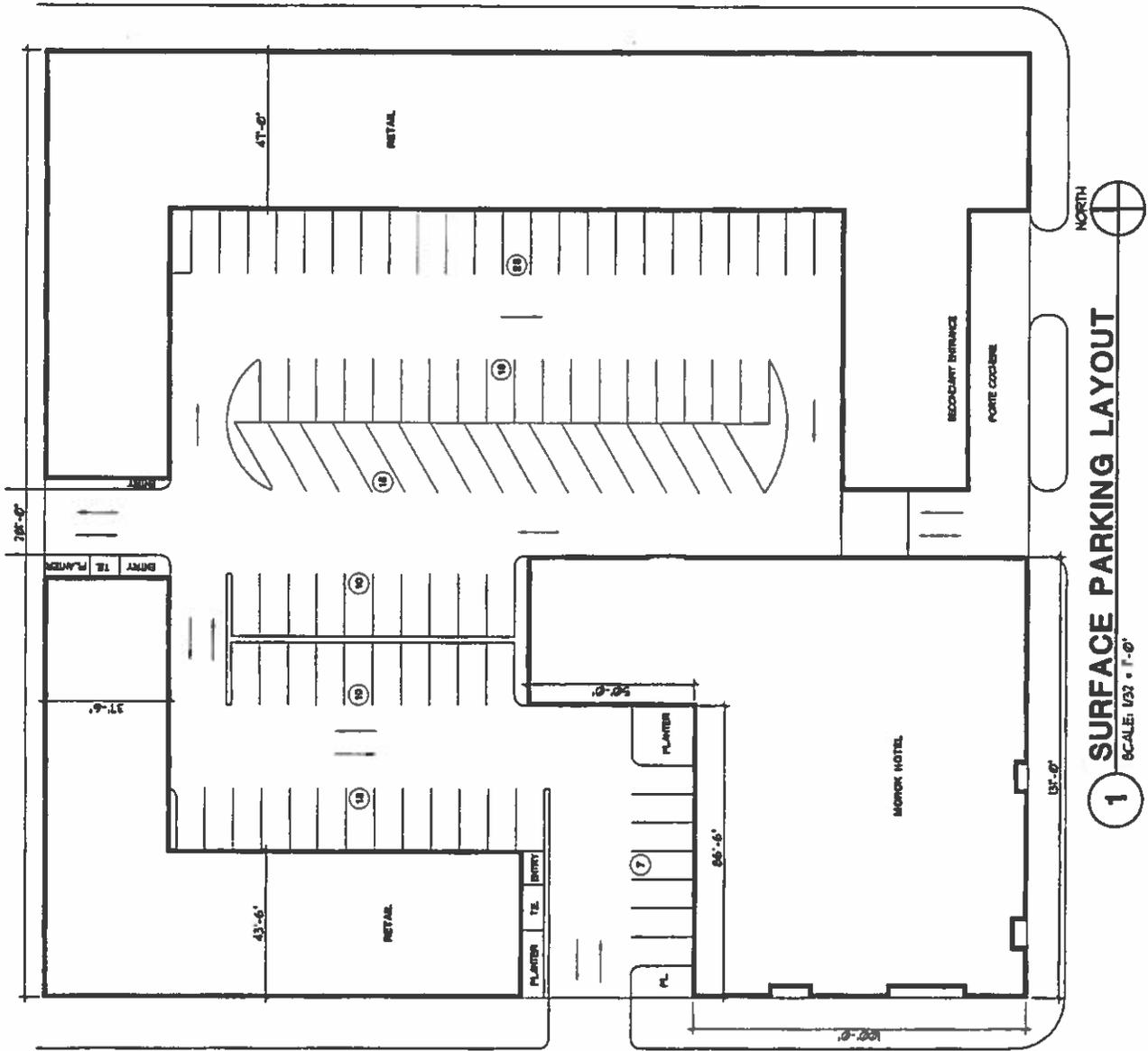
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MORCK HOTEL
 ■ ■ ■
 PARKING LAYOUTS
 ABERDEEN, WASHINGTON

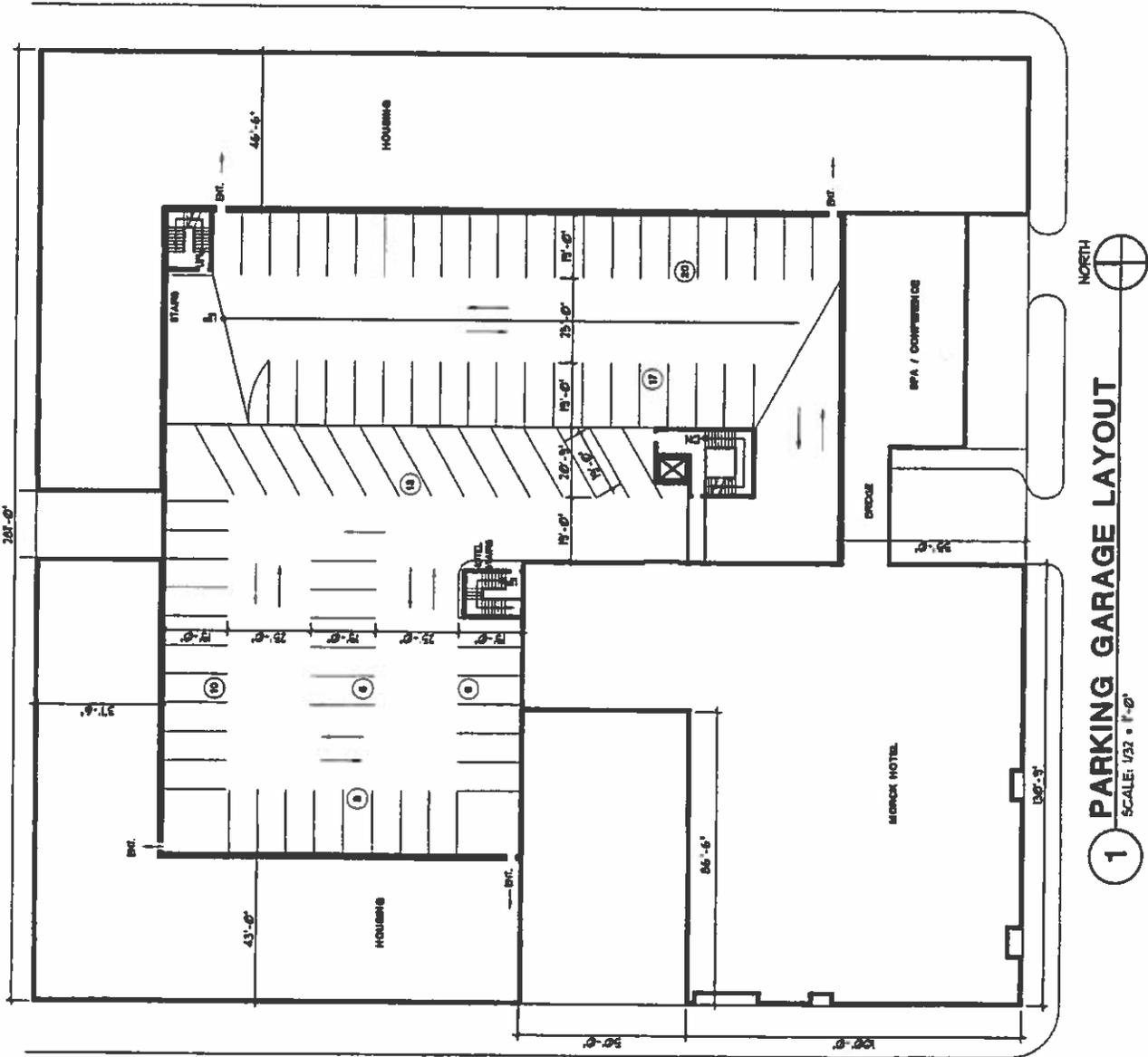
PROJECT #	2008009
SCHEMATIC DESIGN	
ISSUED	02/04/09
OPTION 1	

SUMMARY
 96 SPACES (SURFACE)
 MAINTAINS CURRENT
 ALLEY LOCATION



1 SURFACE PARKING LAYOUT
 SCALE: 1/32" = 1'-0"

SUMMARY
 66 SPACES LEVEL 1
 11 SPACES LEVEL 2
 19 SPACES LEVEL 3
 222 TOTAL SPACES
 MAINTAINS CURRENT
 ALLEY LOCATION



1 PARKING GARAGE LAYOUT
 SCALE: 1/32" = 1'-0"

RESOLUTION NO. 2015 –

A RESOLUTION AUTHORIZING THE SUBMISSION OF A COMMUNITY DEVELOPMENT BLOCK GRANT ECONOMIC OPPORTUNITY APPLICATION TO THE WASHINGTON STATE DEPARTMENT OF COMMERCE REQUESTING \$3,000,000 FOR RENOVATION OF THE MORCK HOTEL AND CERTIFYING COMPLIANCE WITH APPLICATION REQUIREMENTS.

WHEREAS, The City of Aberdeen is APPLYING TO THE State Department of commerce for a Community Development Block Grant (CDBG);

WHEREAS, it is necessary that certain conditions be met as part of the CDBG application requirements;

NOW, THEREFORE, be it resolved that the City of Aberdeen authorizes submission of this CDBG application to the State Department of Commerce to request \$3,000,000 for renovation of the Morck Hotel, and certifies that, if funded, it:

Will comply with applicable provisions of Title I of the Housing and Community Development Act of 1974, as amended and other applicable state and federal laws;

Has provided and will provide opportunities for citizen participation that satisfy the CDBG requirements of 24 CFR 570.486;

Has provided technical assistance to citizens and groups representative of low-and moderate-income person that request assistance in developing proposals;

Will provide opportunities for citizens to review and comment on proposed changes in the funded project and program performance;

Will not use assessments against properties owned and occupied by low and moderate-income persons or charge user fees to recover the capital costs of CDBG-funded public improvements from low and moderate-income owner-occupants;

Will establish a plan to minimize displacement as a result of activities assisted with CDBG funds; and assist persons actually displaced as a result of such activities, as provided in the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended;

Has adopted a policy to reduce greenhouse gas emission in accordance with RCW 70.235.070 and certifies this project will adhere to this policy(s);

Will conduct and administer its program in conformance with Title VI of the Civil Rights Act of 1964 and the Fair Housing Act; and will affirmatively further fair housing (Title VIII of the Civil Rights Act of 1968); and has adopted (or will adopt) and enforce a policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in nonviolent civil rights demonstrations; and has adopted (or will adopt) and implement a policy of enforcing applicable state and local laws against physically barring entrance to or exit from a facility or location that is the subject of such nonviolent civil rights demonstration within its jurisdiction, in accordance with Section 104(1) of the Title I of the Housing and Community Development Act of 1974, as amended; and

The City of Aberdeen designates Mayor Bill Simpson as the authorized Chief Administrative Official and the authorized Chief Administrative Official and the authorized representative to act in all official matter in connection with this application and the City of Aberdeen's participation in the State of Washington CDBG Program.

Signature _____ Date _____

Name _____ Title _____

Attested _____ Date _____

15 – 07A

ORDINANCE NO. 6578

AN ORDINANCE ADOPTING A SIX MONTH MORATORIUM PROHIBITING THE LICENSING, LOCATION, AND PERMITTING OF FACILITIES FOR THE WHOLESALE STORAGE AND SALES OF CRUDE OIL IN THE CITY OF ABERDEEN, STATE OF WASHINGTON.

The following is a summary of the above ordinance for the purposes of publication. The full text of the ordinance will be mailed upon request.

Section 1. Adopts a moratorium on facilities for crude oil storage and sale.

Section 2. The moratorium is for six months.

Section 3. Existing facilities and permit applicants are exempt from moratorium.

Section 4. Sets a public hearing for August 26, 2015.

Section 5. Severability clause.

Section 6. This ordinance takes effect immediately upon adoption by city council.

Section 7. Publication by summary authorized.

PASSED and APPROVED: July 22, 2015.

/s/ Bill Simpson, Mayor

/s/ Kathryn Skolrood, Finance Director (Attest)

**CITY OF ABERDEEN
COMMITTEE REPORT**

MR. MAYOR:

Hon. William Simpson

**THE MEMBERS OF
YOUR COMMITTEE ON:**

Public Safety and Chief of Police

IN REFERENCE TO:

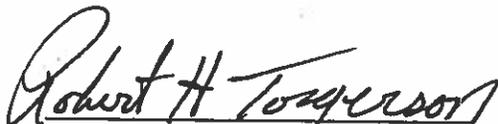
**SFY 2016 Multi-Jurisdictional
Narcotics Task Force**

Report and recommend as follows:

The Aberdeen Police Department wishes to enter into an agreement with the Washington State Department of Community, Community Service and Housing Division, Office of Crime Victims Advocacy, Multi-Jurisdictional Narcotics Drug-Gang Task Forces to receive the SFY 2016 Multi-Jurisdictional Narcotics Task Force Grant in the amount of \$123,555 starting July 1, 2015 and ending June 30, 2016. The grant will be used to provide salaries and overtime for Grays Harbor's Multi-Jurisdictional Narcotics Task Force.

This Grant is awarded to support Multi-Jurisdictional Narcotics Task Force responses to drug investigation. This grant will continue to partially fund one Investigator from Aberdeen, one Secretary from Aberdeen, one Investigator from Hoquiam, an Investigator from the County, and a County Deputy Prosecutor.

It is our recommendation that the Narcotics Task Force Grant funding is accepted and the Mayor and staff be authorized to sign the grant.


Robert H. Torgerson, Chief of Police

Tawni Andrews, Chair

Reported: August 26, 2015

Jim Cook

Alice Phelps

Jerry Mills

Adopted: _____

FACE SHEET

Contract Number: F15-31440-001

**Washington State Department of Commerce
Community Services and Housing Division
Office of Crime Victims Advocacy
Multi-Jurisdictional Drug-Gang Task Forces**

1. Grantee Aberdeen, City of 210 E Market St Aberdeen, WA 98520-5210		2. Grantee Doing Business As (optional) Grays Harbor County Drug Task Force	
3. Grantee Representative Art Laur Sergeant 360-538-3180 alaur@aberdeenwa.gov		4. COMMERCE Representative William Johnston Program Manager 360-725-3030 bill.johnston@commerce.wa.gov 1011 Plum Street SE Olympia, Washington 98513	
5. Grant Amount \$123,555	6. Funding Source Federal: <input checked="" type="checkbox"/> State: <input type="checkbox"/> Other: <input type="checkbox"/> N/A: <input type="checkbox"/>	7. Start Date July 1, 2015	8. End Date June 30, 2016
9. Federal Funds (as applicable) \$123,555	Federal Agency: United States Department of Justice	CFDA Number: 16.738	Indirect Rate (if applicable): Not Applicable
10. Tax ID # 916001226	11. SWV # 0007703-01	12. UBI # 141-000-009	13. DUNS # 139118850
14. Grant Purpose To provide local governments with U.S. Department of Justice, Bureau of Justice Assistance funds for the investigation, disruption, and prosecution of drug and gang organizations operating at levels above the normal capacity of local jurisdictions to pursue. COMMERCE, defined as the Department of Commerce, and the Grantee, as defined above, acknowledge and accept the terms of this Grant and attachments and have executed this Grant on the date below to start as of the date and year referenced above. The rights and obligations of both parties to this Grant are governed by this Grant and the following other documents incorporated by reference: Grant Terms and Conditions including Attachment "A" – Scope of Work, Attachment "B" – Budget, Attachment "C" – Activity Report, Grantee's Application for Funding under this program as amended, the Grantee's Certifications and Assurances required by COMMERCE as pre-requisites for execution of this Agreement, and 'Criminal Justice Grants - Policies and Procedures Guide' published by COMMERCE, as amended.			
FOR GRANTEE _____ William Simpson, Mayor _____ Date		FOR COMMERCE _____ Diane Klontz, Assistant Director _____ Date APPROVED AS TO FORM ONLY BY ASSISTANT ATTORNEY GENERAL APPROVAL ON FILE	